

SUBDIVISION DESIGN GUIDELINES

FOR

**WELLINGTON POINT IV
(AKA NEWPORT VILLAGE)**

at

STONEBRIDGE RANCH

**SUBDIVISION DESIGN GUIDELINES
FOR
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These Subdivision Design Guidelines are designed specifically for the WELLINGTON POINT IV (aka Newport Village) Subdivision and are promulgated in accordance with Section 3 of Article VIII of the Consolidated and Amended Master Declaration of Covenants, Conditions, Restrictions, Easements, Charges and Liens on and for STONEBRIDGE RANCH (the "Master Declaration") which instrument was recorded on October 29, 1992 as Instrument No. 92-0076613 in the Public Real Estate Records of Collin County, Texas and which is incorporated herein by reference for all purposes.

The primary purpose of these Subdivision Design Guidelines is to better assure owners of properties within the WELLINGTON POINT IV (aka Newport Village) Subdivision that all individual improvements will conform to the same high standards of design excellence. The guidelines seek to establish a design framework which the individual homebuilder or homeowner will use as a guide for site improvement, with latitude and flexibility (on the one hand) balanced against preserving the integrity of STONEBRIDGE RANCH (on the other hand). These Subdivision Design Guidelines will, hopefully, serve to guide, inform, aid and inspire to the same extent as they serve to prohibit, restrict and require. While some features are mandated, it should be understood that the Master Architectural Review Committee ("MARC") may make discretionary judgments to reduce or waive any requirement when it can be demonstrated (to the reasonable satisfaction of the MARC) that appropriate mitigating measures have been taken. However, such discretionary approval(s) shall not represent or constitute a binding precedent since no two or more tracts or circumstances are likely to be alike.

1. Height Limitation:

Thirty-five feet (35') measured from the highest point of finished grade.

2. Minimum Dwelling Setback Requirements:

Front Yard: Thirty feet (30') to main structure.

Rear Yard: Thirty feet (30') from rear property line to main structure (excluding accessory buildings, cabanas, decks, fences, pools, etc.).

Interior

Side Yard: Ten feet (10') to main structure for Block A, Lots 1-13; all of Block B; and Block C, Lots 1-18.

Fifteen feet (15') to main structure for Block A, Lots 14-18; Block C, Lots 19-29; and all of Blocks D and E.

Rear Clipped

Corner: Lot 14, Block A – The minimum setback from the property line adjacent to Lot 2R, Block E of Wellington Point Phase II is 30'-0".

Corner

Side Yard: Twenty-five feet (25') to main structure.

Driveway: Driveway pavement shall be set back a minimum of 1'6" from the property line. In retaining wall situations on side lot lines, the driveway may abut the retaining wall on the high side.

3. **Sitework.** Finished grades shall not direct concentrated water (i.e., downspouts, sub grade drainage systems) flow onto adjacent properties and shall follow the City of McKinney approved grading plans. Anytime a site is altered, it is the builder's responsibility to provide the retainage. Retaining walls are only to be constructed of Hackett stone. If side yard retaining walls are not desired, a slope of 3:1 (max.) must be achieved between the foundation slab and the side yard property line.
4. **Masonry.** Unless otherwise specifically approved by the MARC, each single-family detached residential dwelling shall have at least eighty-five percent (85%) of the exterior vertical surfaces (excluding windows, doors and roof) composed of approved masonry (i.e., brick, stone, stucco). Chimneys must be 100% masonry. Also, that portion of an elevation which faces a park, greenbelt, common space, golf course or lake/water must be 100% masonry. All mailboxes are to be located within a masonry structure approved by the MARC. Brick blends may be repeated with a minimum separation of five (5) intervening houses in any direction along the fronting or side/corner streets.
5. **Fences Adjacent to Parks, Greenbelts, Common Spaces and Lakes/Water.** With respect to each and every Lot which has a side or rear property line coincident with, adjacent to or close to a greenbelt or lake property so as to generally constitute "greenbelt or lake frontage", including Block A, Lots 1 and 13; Block B, Lots 1-3 and 5-11; Block C, Lots 1-5, 9-16, 19-22, and 25-27; Block E, Lot 1, fences along the frontage, if desired, shall comply with the following requirements:
 - (A) not more than four feet (4') in height;
 - (B) open metal, primed and painted a flat black color;
 - (C) constructed as indicated in the MASTER DESIGN GUIDELINES.

6. Fences Adjacent to Golf Courses. With respect to each and every Lot which has a side or rear property line coincident with, adjacent to or close to a golf course, including Block F, Lot 1, fences are mandatory and must comply with the following requirements:
 - (A) Must be 59” (inches) in height;
 - (B) open metal, primed and painted a flat black color;
 - (C) constructed as indicated in the MASTER DESIGN GUIDELINES.
 - (D) No gate opening or access may be provided through any fence onto the golf course.
7. Fences on Interior Lots. No fence shall exceed six feet (6') in height measured from finished grade. Except for open metal, all other fences shall be constructed with redwood or Western Red Cedar (#1 or “Standard and Better”) with pickets placed “good side out” on the exterior face of the subject lot. Posts may be steel pipe columns, cedar or redwood. No pine or spruce fencing materials shall be permitted. Interior lot line fences not visible from public view of the street should have the 6'-0" height solid wood privacy fence as detailed in the Master Design Guidelines or as detailed in the attached Exhibit B.
8. Fences Viewed from Public Streets (i.e., Sections Parallel to Streets Between Houses and Sections Along Side Yards on Street Corners. Publicly viewed fences are required to be the board on board type of fence as detailed in Exhibit B. Materials and picket placement requirements are the same as item #7, Fences on Interior Lots, above.
9. Roof Drainage. In order to assist in the orderly drainage and removal of roof water and the overall quality of drainage, gutters and downspouts may be required at the discretion and direction of the MARC.
10. Roofs. Any proposed composition roof materials shall be the same or better than the 30-year “Tamko Heritage 30,” a dimensional architectural-type shingle. The type, quality and color must otherwise be specifically approved by the MARC. Roofs which cover bay windows are required to use copper, anodized aluminum (bronze or black), or a MARC approved factory finish.
11. Required Landscaping. Per the MARC approved landscape plan, all landscape is to be installed BY THE BUILDER WITHIN THIRTY (30) DAYS of substantial completion or change of ownership (closing). The Lot areas listed below shall be landscaped with the following size and/or number of shade trees, which shall be from the “highly recommended” or “acceptable” category described within the STONEBRIDGE RANCH Plant Palette (set forth in the Master Design Guidelines).

<u>Lot Area</u>	<u>Minimum Requirement</u>
Front Yard	Two rows of five-gallon non-deciduous (evergreen) shrubbery located along the foundation excluding porches and patios. A total of three (3) 6" (min.) caliper large canopy (i.e., red oak, live oak, cedar elm, Chinese pistachio) shade trees and a total of four (4) small canopy trees (i.e., crape myrtle 6'-8' B&B, Yaupon Holly 6'-8' B&B, redbud 2 ½" caliper, etc.)
Adjacent to Parks, Greenbelts, Common Spaces, Golf Course & Lakes/Water	Two rows of five-gallon non-deciduous (evergreen) shrubbery located along the foundation excluding porches and patios. Two (2) 6" minimum caliper trees per rear yard, to be located within ten feet (10') of the rear property line.
Corner Yard	A total of one (1) 6" (min.) caliper large canopy tree (i.e., red oak, live oak, cedar elm, Chinese pistachio) is required to face the side street and be located outside the fenced area. Two rows of non-deciduous five (5) gallon shrubbery are required where the foundation is exposed to the street. Where solid 6' wood fences run along the street frontage, one row of non-deciduous (evergreen) five (5) gallon minimum shrubs is required along the fence.
A/C Units/Mechanical	One row of non-deciduous five (5) gallon shrubbery is required Equipment/Meters to screen these elements from public view.

12. Irrigation. The MARC requires that each Lot have an automatic irrigation system. All automatic irrigation systems shall be designed by a licensed irrigator and are required to have overlapping coverage. Controller devices must be located inside the garage.

13. Sidewalks & Driveways. Unless otherwise approved by the MARC the builder of each single-family home shall construct, install and provide a public sidewalk which shall: (a) be approved (as to size, location and materials) by the MARC; (b) comply with applicable subdivision improvements and City of McKinney, Texas standards; (c) incorporate a "lay-down" curb on corner lots or other similar lots designated by the MARC; and (d) to the extent applicable, conform to and continue the hike-and-bike trail within STONEBRIDGE RANCH. All concrete flatwork which are within the public right-of-way must be broom finished as a minimum.

14. Elevations. Elevations are not allowed to repeat. There will not be an exception. Double car garage doors shall not face the street. Single car garage doors may face the street if they are located 20' behind the front yard building line.
15. Window Restrictions. All windows located on the second floor of the restricted side of the Lot must be composed of obscure glass or glass block. See Exhibit A for location of restricted sides.
16. Paint Colors. The trim colors of the house will be limited to a specific color family complimentary of the brick selection. Garage doors should be painted a subtle variation of the primary house color. All exposed exterior flashing is to be painted a color to match the brick color. Roof vents are to be painted a color to match the roof color.
17. Address Plaques. The address plaques are to be made of cast stone and mounted on a conspicuous vertical surface close to the front door.
18. Homebuilder Construction. Please refer to the most recent publication of the Construction Site Policy.

**SUBDIVISION DESIGN GUIDELINES
REVISION LOG
WELLINGTON POINT IV
(AKA NEWPORT VILLAGE)**

[illegible]

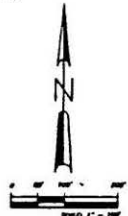
EXHIBIT A

FINAL PLAT WELLINGTON POINT IV

AN ADDITION TO THE CITY OF MCKINNEY,
COLLIN COUNTY, TEXAS,
70 RESIDENTIAL LOTS, 8 COMMON AREAS
ZONED SF-1
BEING 58.784 ACRES SITUATED IN THE
GEORGE FOOTE SURVEY, ABSTRACT NO. 311,
THE HENRY JOHNSON SURVEY, ABSTRACT NO. 482,
THE J. MAGNER SURVEY, ABSTRACT NO. 623, AND
THE J. MAGNER SURVEY, ABSTRACT NO. 624.

LEGEND

- PAVED BOUNDARY
- FOUND 1/2" CHIPPED TRUCK REBAR (PATENT & ASSOC. INC.) OR 1/2" CHIPPED TRUCK REBAR
- SET 1/2" CHIPPED TRUCK REBAR
- FOUND 1/2" CHIPPED TRUCK REBAR (PATENT & ASSOC. INC.)
- (A) BLOCK NAME
- BL BUILDING LINE
- A CENTRAL ANGLE OF CURVE
- R RADIUS OF CURVE
- 20 LOT NUMBER
- L ARC LENGTH OF CURVE
- T TANGENT LENGTH OF CURVE
- FR FOUND TRUCK REBAR
- PCR FOUND CHIPPED TRUCK REBAR
- L.R.C.C.T. LAND RECORDS OF COLLIN COUNTY, TEXAS
- P.R.C.C.T. PLAT RECORDS OF COLLIN COUNTY, TEXAS
- R.O.R. RIGHT-OF-WAY



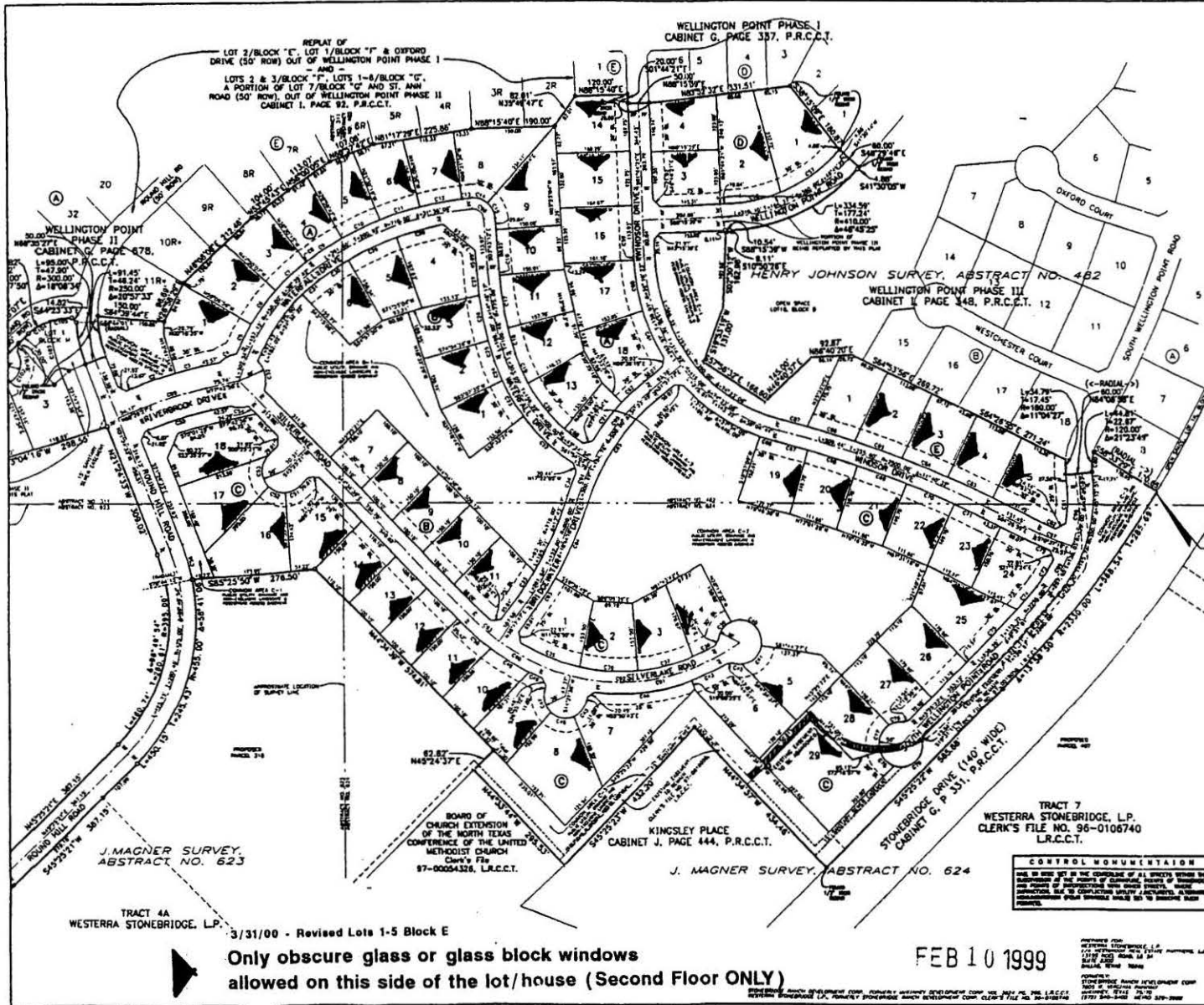
Building shown are located to a line from a 1/2" truck rebar found at the intersection of the north right-of-way line of Virginia Avenue and the east right-of-way line of Cedar Street to a 1/2" truck rebar found at the intersection of Cedar Street and the east right-of-way line of Wellington Point Road. The building shown are located to a line from a 1/2" truck rebar found at the intersection of Cedar Street and the east right-of-way line of Wellington Point Road. The building shown are located to a line from a 1/2" truck rebar found at the intersection of Cedar Street and the east right-of-way line of Wellington Point Road.

BUILDING SETBACK DATA	
BUILDING SETBACK DATA	

FINAL PLAT WELLINGTON POINT IV

PETSCH & ASSOCIATES, INC.
Surveyors
11000 Highway 100, Suite 100, Dallas, Texas 75243
972-440-1000
FAX 972-440-1001
E-MAIL: info@petsch.com
WWW: www.petsch.com

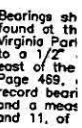
Drawn by: DATE: SCALE: JOB NUMBER: SHEET: OF
11/20/99 1"=100' 98-213 3 3



Only obscure glass or glass block windows
allowed on this side of the lot/house (Second Floor ONLY)


FEB 10 1999

<p>CONTROL MONUMENTATION</p> <p>MAIL IN DISC SET IN THE CENTERLINE OF ALL STREETS WITHIN THE SUBDIVISION AT THE POINTS OF CURVATURE, POINTS OF TANGENCY, AND POINTS OF INTERSECTIONS WITH OTHER STREETS. WHERE IMPRACTICAL DUE TO CONFLICTING UTILITY JUNCTURE(S), ALTERNATE MONUMENTATION (FOUR STRADDLE NAILS) SET TO INDICATE SUCH POINT(S).</p>
<p>LOT MONUMENTATION</p> <p>1/2" IRON REBAR WITH YELLOW PLASTIC CAP STAMPED "PETSCHKE & ASSOC. INC."</p>



TRACT 4A
WESTERRA STONEBRIDGE, L.P.
CLERK'S FILE NO. 96-0106740
L.R.C.C.T.




TRACT 4A
WESTERRA STONEBRIDGE, L.P.
CLERK'S FILE NO. 96-0106740
L.R.C.C.T.

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Drawn by: HAAS	Designed by: CLAY

3. No area within the property has been designated as being subject to special or increased flooding hazards (Zone X, per Flood Insurance Rate Map, 48085 C0280 G and 48085 C0290 G, revised January 19, 1996, published by the National Flood Insurance Program of the Federal Emergency Management Agency.

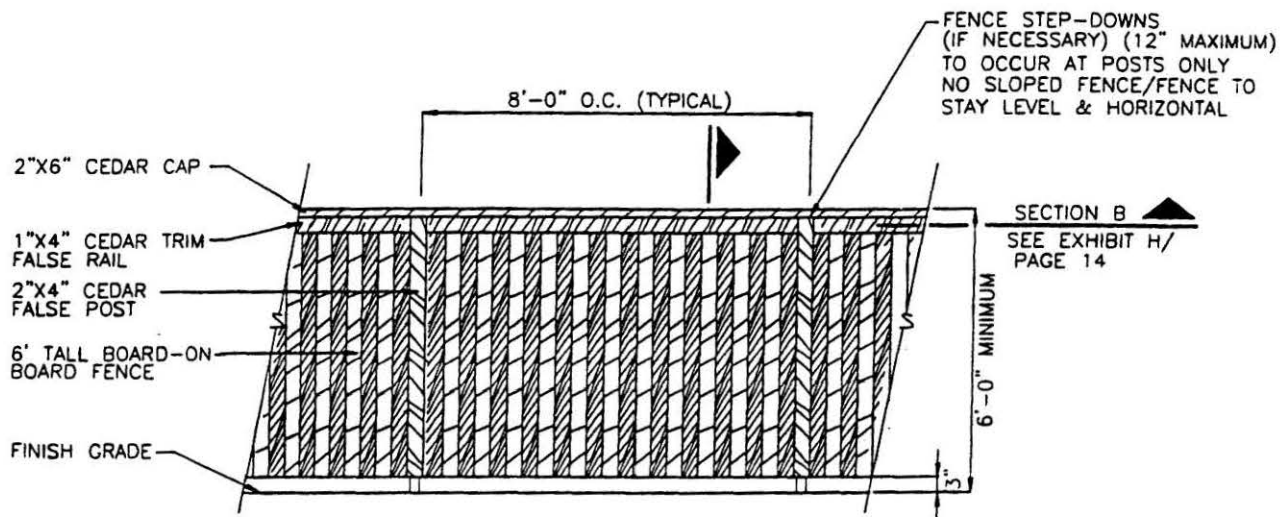
4. Common Area F-1 is a public utility, drainage and non-exclusive landscape, pedestrian and bicycle access easement.

FORMERLY:
STONEBRIDGE RANCH DEVELOPMENT CORP.
6900 W. VIRGINIA PARKWAY, SUITE 205
MCKINNEY, TEXAS 75070
(972) 540-5400 METRO 529-5988

Arch Planned

EXHIBIT B

WOOD FENCE DETAIL BOARD ON BOARD STYLE



NOTES:

1. ALL WOOD FACE MEMBERS SHALL BE WESTERN RED CEDAR, COMMON, NO. 1 GRADE, KNOT FREE
2. ALL RAILS TO BE WOLMANIZED