

SUBDIVISION DESIGN GUIDELINES

FOR

SUMMER GLEN
(Parcel 803)

at

STONEBRIDGE RANCH

SUBDIVISION DESIGN GUIDELINES FOR SUMMER GLEN

These Subdivision Design Guidelines are designed specifically for the SUMMER GLEN subdivision and are promulgated in accordance with Section 3 of Article VIII of the Consolidated and Amended Master Declaration of Covenants, Conditions, Restrictions, Easements, Charges and Liens on and for STONEBRIDGE RANCH" (the "Master Declaration") which instrument was recorded on October 29, 1992 as Instrument No. 92-0076613 in the Public Real Estate Records of Collin County, Texas and which is incorporated herein by reference for all purposes.

The primary purpose of these Subdivision Design Guidelines is to supplement the current version of the MASTER DESIGN GUIDELINES for STONEBRIDGE RANCH. Adherence to these guidelines are intended to better assure owners of properties within the SUMMER GLEN Subdivision that all individual improvements will conform to the same high standards of design excellence. The guidelines seek to establish a design framework which the individual homebuilder or homeowner will use as a guide for site improvement, with latitude and flexibility (on the one hand) balanced against preserving the integrity of STONEBRIDGE RANCH (on the other hand). These Subdivision Design Guidelines will, hopefully, serve to guide, inform, aid and inspire to the same extent as they serve to prohibit, restrict and require. While some features are mandated, it should be understood that the Master Architectural Review Committee ("MARC") may make discretionary judgments to reduce or waive any requirement when it can be demonstrated (to the reasonable satisfaction of the MARC) that appropriate mitigating measures have been taken. However, such discretionary approval(s) shall not represent or constitute a binding precedent since no two or more tracts or circumstances are likely to be alike.

1. Height Limitation

Thirty-five feet (35') measured from grade.

2. Minimum Dwelling Setback Requirements:

Front Yard: The greater of twenty feet (20') to main structure or the setback line shown on the Final Plat.

Rear Yard: Twenty feet (20') from rear lot line to main structure (excluding accessory buildings, cabanas, decks, fences, pools, etc.) unless adjacent to lake or other water body which might permit a less restrictive setback to be approved by the MARC.

Exception: Golf Course lots shall have a minimum ten feet (10') setback in accordance with the approved plat.

Side Yard: Minimum ten feet (10') between buildings. One foot (1') setback on one side is required as indicated on the plat.

Side Yard

on Corner: Fifteen feet (15') or as indicated on approved plat.

3. Sitework. Finished grades shall not direct concentrated water (i.e., downspouts, sub-grade drainage systems) flow onto adjacent properties and should follow the City of McKinney approved grading plans. Anytime a site is altered, it is the builder's responsibility to provide the retainage. Retaining walls are only to be constructed of stone. If side yard retaining walls are not desired, a slope of 3:1 (max.) must be achieved between the foundation slab and the side yard property line. The MARC reserves the right, upon reasonable advance notice, to require a topographical survey done by a registered surveyor before during or after construction. That portion of an elevation which faces a park, greenbelt or golf course must be 100% masonry.
4. Patios. Concrete patios may be located to within a minimum of two feet (2'-0") from the property line. Anywhere a patio is located closer than five feet (5'-0") from a property line, a row of evergreen shrubs, minimum five (5) gallon size, planted a maximum of three feet (3'-0") o.c., must be planted around the perimeter of the rear and both side property lines. Only a 3' x 3' concrete landing directly outside of an egress door from the house may encroach into the two feet (2'-0") setback.
5. Masonry. Chimneys on front elevation must be 100% masonry. That portion of an elevation which faces a park, greenbelt or golf course must be 100% masonry. Identical brick blends may not occur next door to each other or directly across the street.
6. Fences on Interior Lot Lines. Fences on Lots 1-8, Block D and Lots 13, 14, 18 and 19, Block B shall not exceed six feet (6') in height measured from finished grade. Except for those fences required to be constructed of metal, all other fences shall be constructed with redwood or cedar, in accordance with the Stonebridge Ranch Master Design Guidelines, with pickets placed on the exterior face. Posts may be steel pipe columns, cedar or redwood. No pine or spruce fencing materials shall be permitted. The side yard fencing on Lots 1 and 8, Block D adjacent to the street shall match the perimeter fencing previously installed by the developer. The side yard fencing on Lots 13 and 19, Block B adjacent to the street shall be six feet (6') high wood as described above. The front yard fences between houses on Lots 13, 14, 18 and 19, Block B and Lots 1-8, Block D shall comply with the following Section 6 requirements (see below).
7. Fences Along Open Spaces/Greenbelts or Golf Course. Lots 1-20, Block A; Lots 1-12, Lots 15-17 and 20-30, Block B; and Lots 1-15, Block C which have a side or rear property line coincident with, adjacent to, or close to a greenbelt or golf course so as to generally

constitute “greenbelt or golf course frontage” are required and must comply with the following requirements (this includes the rear fences as well as the side yard fences returning to the houses and the front fence between the houses. (See Exhibits A-1 and A-2 attached.) The front fences between houses on Lots 13, 14, 18 and 19, Block B and Lots 1-8, Block D shall also comply with the following requirements:

- A. Must be 59” (inches) height in the rear yard and returning side yard and a maximum height of six feet (6’) in the front yard.
 - B. Open metal to be primed and painted a flat black color.
 - C. Constructed as indicated in the Master Design Guidelines.
 - D. No gate, opening or access may be provided through any fence onto the golf course.
 - E. The front fence may be a five (5) or six (6) foot high open metal fence or a five (5) or six (6) foot high solid masonry fence (to match the house) with a metal gate if desired. The metal gate may have an arched top (see Exhibit A-2)
 - F. The returning side yard fence between Lots 14 and 15, Block B and Lots 17 and 18, Block B shall be six foot (6’) wood as described in paragraph 5 above.
8. Fences at Main Entrances. Any extension of the existing side yard fence installed by the developer at the main entrance must match the existing fence in style, materials and color.
9. Roof Drainage. In order to assist in the orderly drainage and removal of roof water and the overall quality of drainage, gutters and downspouts are required on all homes. On the side of the home that is setback one foot (1’) from the property line (the “privacy side”), the downspouts associated with the gutters on that side of the home shall be located at the front and rear end of the house, if possible.
10. Roof. Any proposed composition roof materials shall be the same as or equal to the 25 year Tamco Elite Glass Seal and shall “weigh” a minimum of 230 lbs. per square. The type, quality and color must otherwise be specifically approved by the MARC. Minimum roof pitch shall be 6:12.
11. Required Landscaping. Per the MARC approved landscape plan, all landscape is to be installed BY THE BUILDER WITHIN THIRTY (30) DAYS of substantial completion or change of ownership (closing). The Lot areas listed below shall be landscaped with the following size and/or number of shade trees, which shall be from the “highly recommended” or “acceptable” category described within the STONEBRIDGE RANCH Plant Palette (set forth in the Master Design Guidelines):

<u>Lot Area</u>	<u>Minimum Requirement</u>
Front Yard	One row of five (5) gallon non-deciduous (evergreen) shrubbery (maximum spacing of 3'-0" o.c.) located along the foundation excluding porches and patios. A total of one - 2½" caliper (min.) shade tree (i.e., red oak, live oak, cedar elm, Chinese pistachio) is required for each front yard. The smallest canopy tree caliper permitted is 2 ½".
Adjacent to Open Space or Golf Course	One row of two (2) gallon non-deciduous (evergreen) shrubbery (maximum spacing of 3'-0" o.c.) located along the foundation excluding porches and patios.
Corner Yard	<p>A total of one 2½" (min.) caliper shade tree is required to face the "side" street. One row of non-deciduous two (2) gallon shrubbery (maximum spacing of 3'-0" o.c.) is required where the foundation is exposed to the street and there is no existing fence.</p> <p>Where six foot (6') solid wood fences run along the street frontage, groups of three evergreen five (5) gallon shrubbery (maximum spacing of 3'-0" o.c.) or two ornamental trees (1½" caliper) is required every 20'-0".</p>
AC Units/Mechanical Equipment Meters	One row of non-deciduous five (5) gallon shrubbery (maximum spacing of 3'-0" o.c.) is required to screen these elements from public view if not behind solid fencing.

12. Irrigation. Each Lot is required to have an automatic irrigation system. All automatic irrigation systems shall be designed to have overlapping coverage. Controller devices must be located inside the garage.
13. Sidewalks & Driveways. Unless otherwise approved by the MARC the builder of each single-family home shall construct, install and provide a public sidewalk which shall: (a) be approved (as to size, location and materials) by the MARC; (b) comply with applicable subdivision improvement plan and other City of McKinney, Texas standards; (c) incorporate a "lay-down" curb on corner lots or other similar lots designated by the MARC; and (d) to the extent applicable, conform to and continue the hike-and-bike trail within STONEBRIDGE RANCH. All concrete sidewalks, driveways, walkways and entry paths which are within the public right-of-way must be broom finished as a minimum.

14. Elevations. As a general rule or objective, each floor plan should have three (3) elevations. Elevations shall not repeat along the same side of the street without at least 3 intervening homes with a different elevation. In addition, no elevation shall be located directly across the street from the same elevation. The intent of this guideline is to require enough distance between same elevations to create uniqueness in the community while allowing the similarity of elevations to enhance the cohesive village feel of the subdivision.
15. Paint Colors. The trim colors of the house will be limited to a specific color family complimentary of the masonry selection. All exposed exterior flashing is to be painted a color to match the masonry color. Roof vents are to be painted a color to match the roof color.
16. Homebuilder Construction. Please refer to the most recent publication of the Construction Site Policy.
17. Garage Doors. Garage doors shall be "Select Tight Knot Cedar" by Architectural Overhead Door, Inc. in one of the styles specified on Exhibit B. Doors shall be stained a complimentary color coordinating with the trim or brick/stone color of the house and approved by the MARC.
18. Privacy Wall. The "Privacy Wall" of the home shall be placed parallel to and set directly upon the one foot (1') side yard property line as indicated on the plat. Atriums are allowed on the Privacy Wall of the home provided a minimum 8' masonry Privacy Wall is constructed to protect the open side of the adjacent home. Windows within the atrium are allowed to a maximum 10' header height.
19. Glass Block. Only glass block is allowed on the Privacy Wall of the house (25 square feet maximum allowable size per opening), other than the atrium windows described above.
20. Address Plaques. The address plaques are to be made of cast stone and mounted on a conspicuous surface close to the front door and include the address numbers only.
21. Mailboxes. Mailboxes must be the Brandon Industries Model P10-M9 dual painted flat black and located as shown on Exhibit C (single box only shown on plan).

EXHIBIT A-1

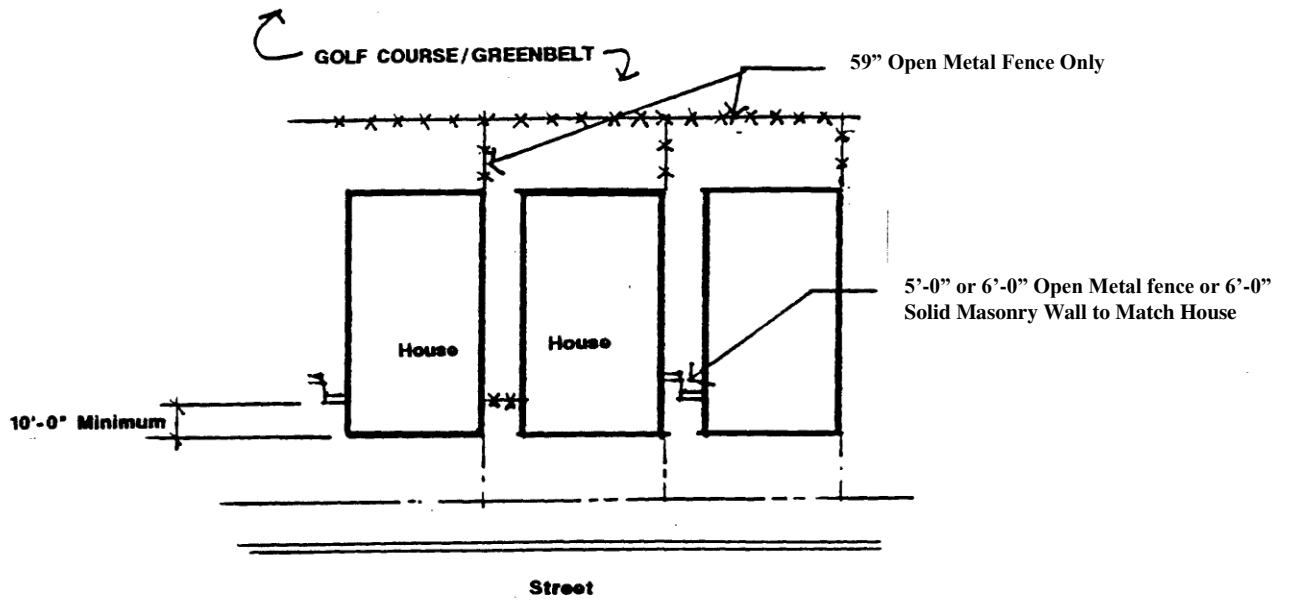
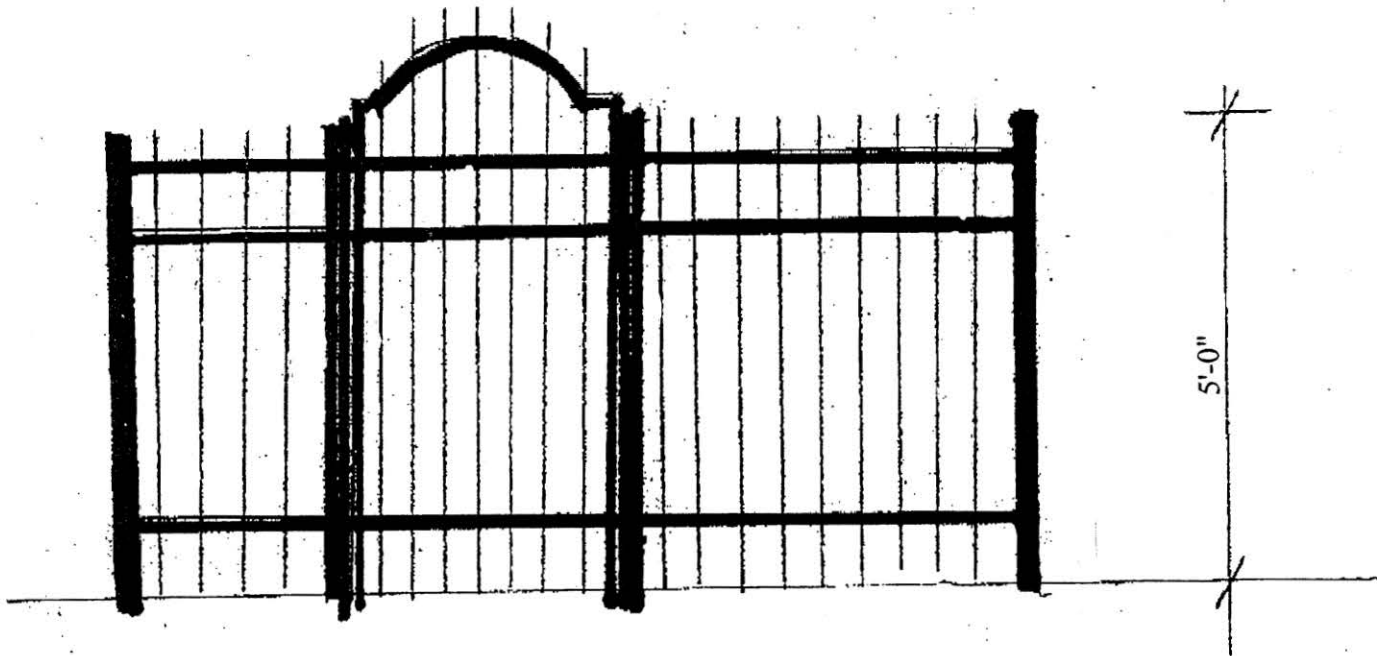


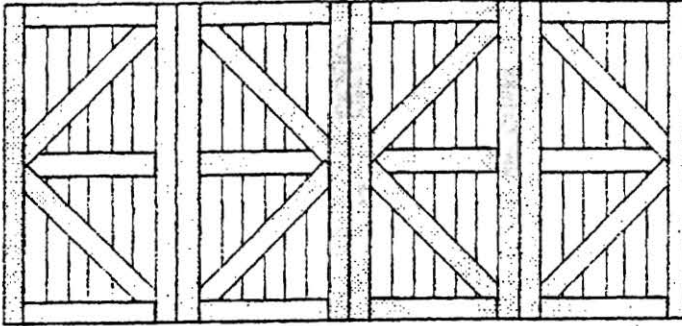
EXHIBIT A-2



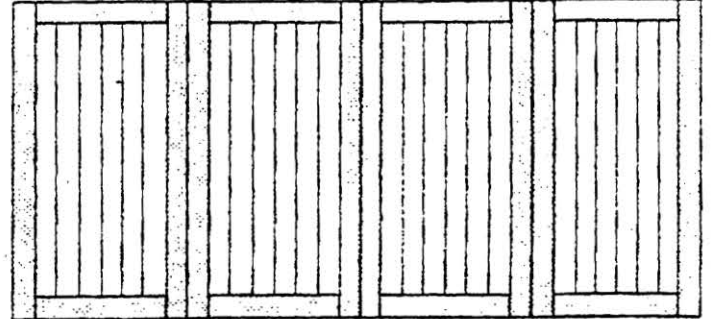
ARCHITECTURAL OVERHEAD DOOR

BASIC DESIGNS

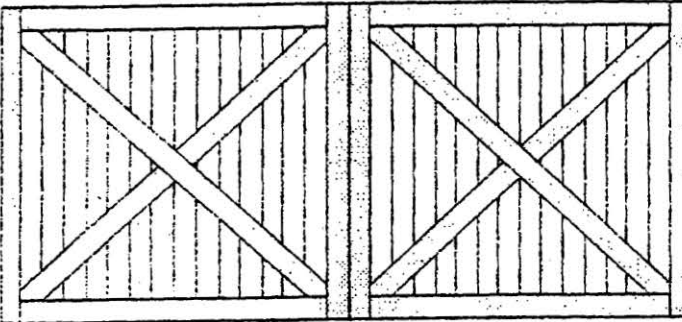
AOD-101



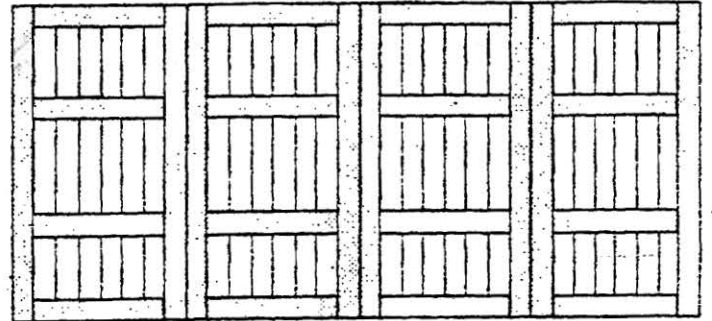
AOD-102



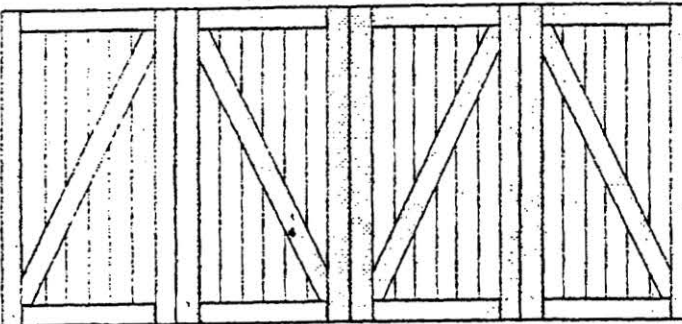
AOD-103



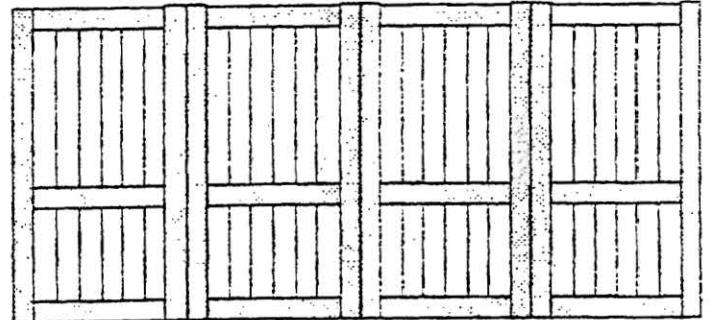
AOD-104



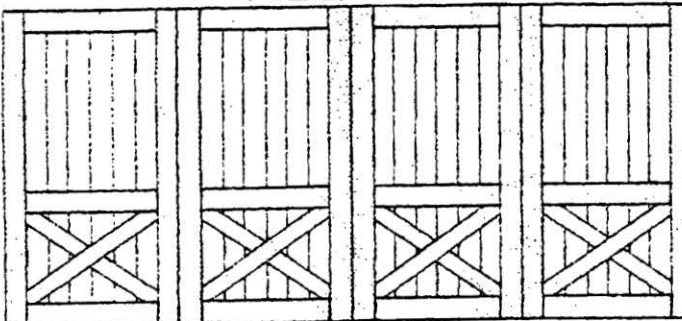
AOD-105



AOD-106



AOD-107



AOD-108

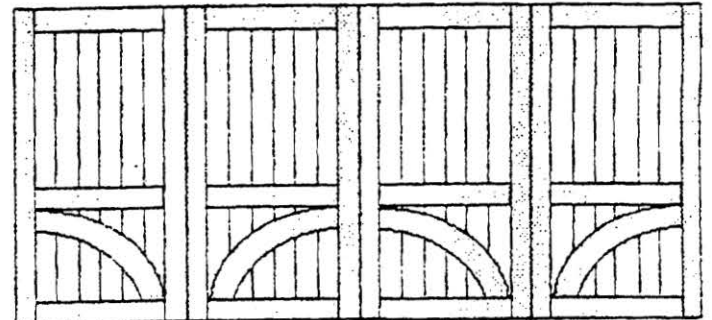
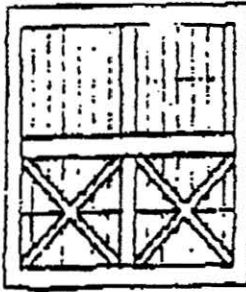
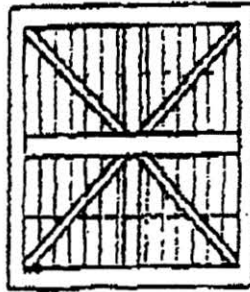


EXHIBIT B, PAGE 2

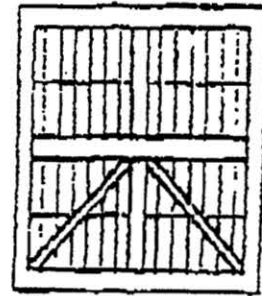
FRONT ENTRY STANDARD GARAGE DETAILS



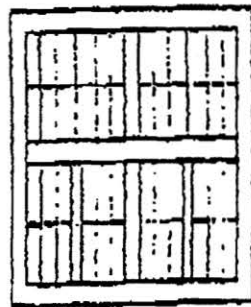
GDEB0704B



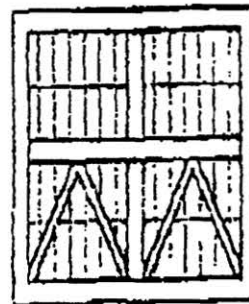
GDEB0705B



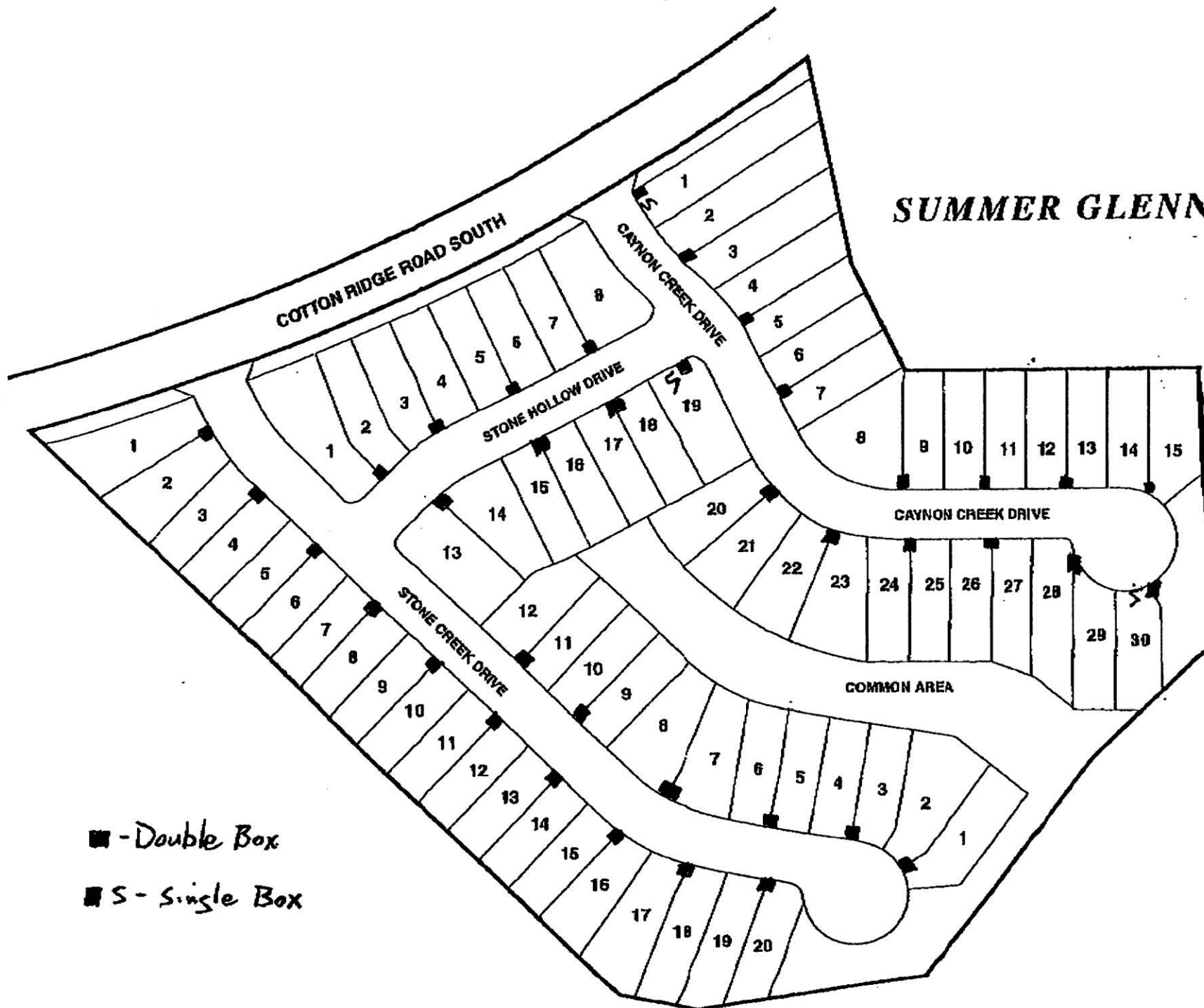
GDEB0706B



GDEB0707B



GDEB07010B



SUMMER GLENN

EXHIBIT C

REVISION LOG

SUMMER GLEN

[illegible]

06/18/2015